



Jebb Avenue Management Company  
Jebb Avenue  
Brixton  
GREATER LONDON  
SW2 5XL

Date: July 7 2020

For the attention of MRS Sophie Hulm

Re: Survey for Jebb Avenue

We refer to our site visit on the 2nd July and now have pleasure in submitting our Roof Condition Survey Report for this project.

The roof areas indicated are approximate and should only be used as a guide. For accurate tendering purposes the client or contractor should confirm exact areas.

We trust this Roof Condition Survey Report is of assistance to you. If we can be of further help on this, or any other project, please do not hesitate to contact me on 07702 952 084.

Yours Sincerely

A handwritten signature in red ink, appearing to read 'RWELSH', with a long horizontal line extending to the right.

Ryan Welsh  
Specification Manager  
Tel:07702 952 084  
Email:ryan.welsh@bmigroup.com

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Client: Jebb Avenue Management Company  
Project: Jebb Avenue  
Project Ref:: 38232



## ICOPAL SITE SURVEY



### Project Address

|               |             |
|---------------|-------------|
| Project Name  | Jebb Avenue |
| Postcode      | SW2 5XL     |
| Date Prepared | 07/07/2020  |

### Client

|                        |                                |
|------------------------|--------------------------------|
| Prepared on Behalf Of: | Jebb Avenue Management Company |
|------------------------|--------------------------------|





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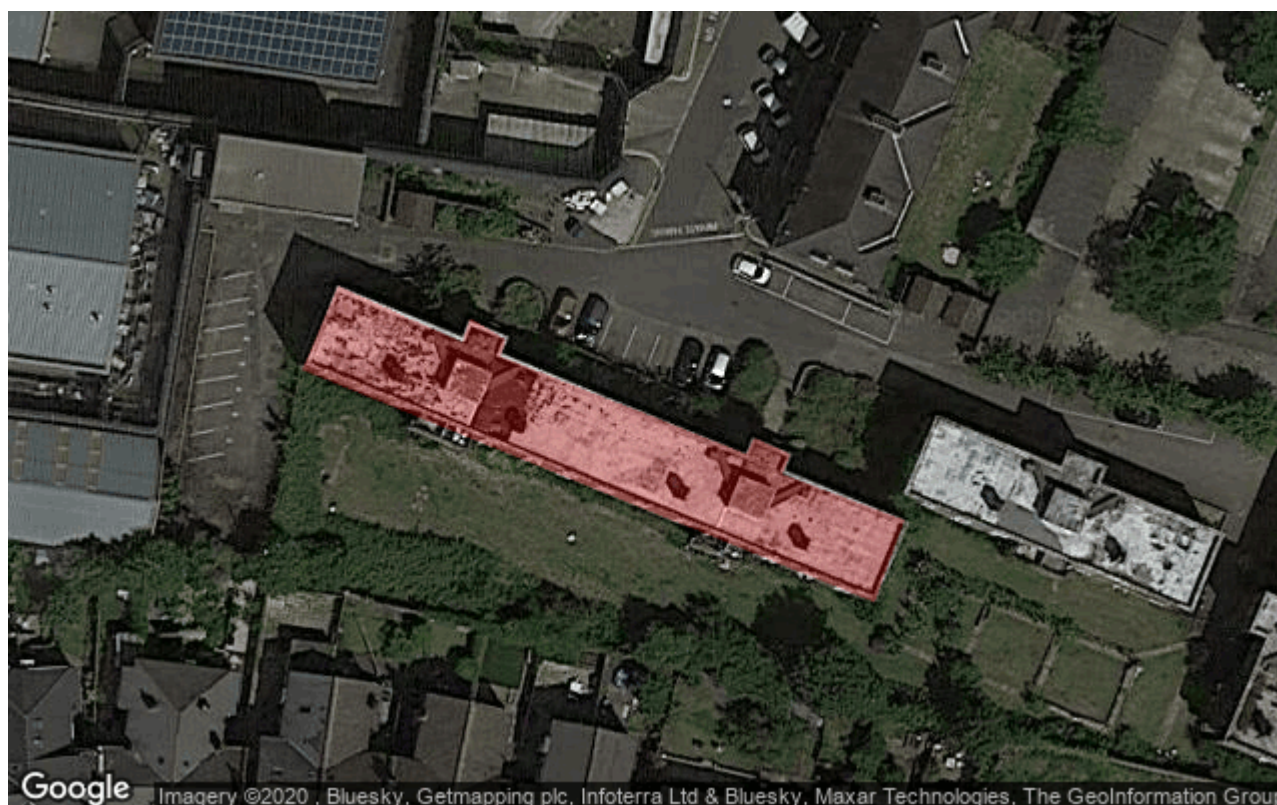
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## 1. PROJECT OVERVIEW

|                                 |                                                 |
|---------------------------------|-------------------------------------------------|
| Project Name: Jebb Avenue       | Client Name: Jebb Avenue Management Company     |
| Project No: 38232               | Address: Jebb Avenue                            |
| Address: Jebb Avenue            | Town: Brixton                                   |
| Town: Brixton                   | County: GREATER LONDON                          |
| County: GREATER LONDON          | Postcode: SW2 5XL                               |
| Postcode: SW2 5XL               | Contact: MRS Sophie Hulm                        |
|                                 | Tel: 07776 132232                               |
|                                 | Email: Info@jamc.co.uk.                         |
| Inspected By: Ryan Welsh        | Date of Inspection: 02/07/2020                  |
| Position: Specification Manager | Weather during Inspection: Dry(>10°C and <20°C) |

### Plan View - Jebb Avenue



## 2. PROJECT OBSERVATIONS

The site is sensitive with high security and requires notification of intent to visit.

The site is only accessible during the following hours: 0800hrs - 1600hrs.

Access to the roof is gained via the internal plant room.

To access the roof a key is required.

The roof inspection was carried out in the late afternoon.

The weather conditions at the time of inspection was sunny and clear.

### Reason for Survey:

Icopal was asked to provide a visual and intrusive appraisal of the existing roof waterproofing system.

## 3. ROOF DETAILS

|                          |                                   |
|--------------------------|-----------------------------------|
| Roof Area Reference      | Main Roof                         |
| Roof Area(m2)            | 480                               |
| Building Use             | Residential - High Occupancy      |
| Building Height(Floors)  | 4                                 |
| Building Access          | Via Plant Room                    |
| Pitch                    |                                   |
| Drainage Method          | To Outlets                        |
| Falls On Roof            | Adequate                          |
| Internal Ceiling         | Unknown                           |
| Void                     | Unknown                           |
| Structural Deck          | Cast Concrete                     |
| VCL                      | Bituminous VCL                    |
| Insulation Type          | PUR/PIR                           |
| Insulation Thickness(mm) | 80                                |
| Existing Waterproofing   | Asphalt                           |
| Surface Finish           | Solar reflective paint            |
| Repairs                  | Some inadequate detailing repairs |



#### 4.1 CORE SAMPLE ANALYSIS - Main Roof



##### 4.1 Main Roof

##### Core Sample 1

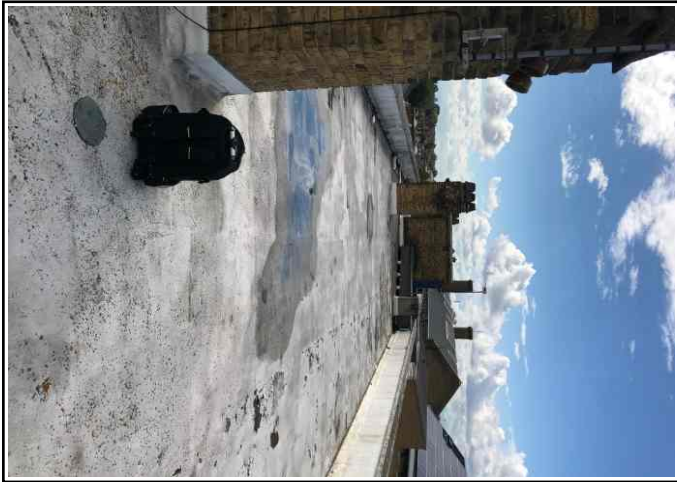
Location: Central

Build Up: Concrete deck. Bituminous VCL. 80mm insulation. Asphalt. Solar reflective paint.

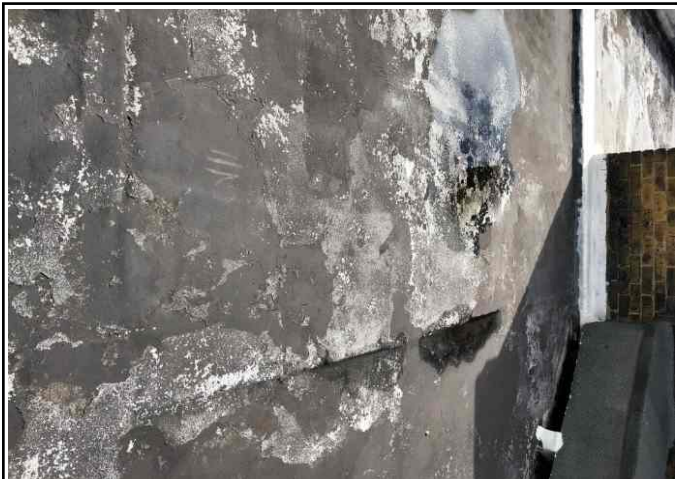
Core Result: Dry.

Moisture Probe Reading: NA

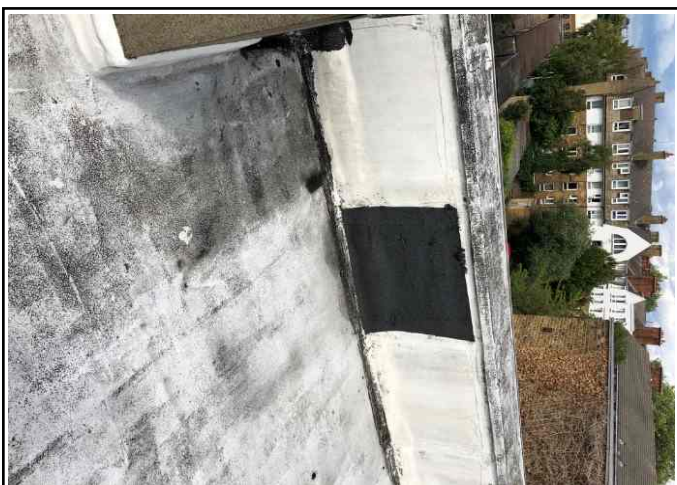
## 5.1 CONDITION REPORT - Main Roof



Core samples are only an indication of the roof build up in the area inspected. Icopal take no responsibility for changes in the roof build up outside the immediate area of inspection. It is the responsibility of the roofing contractor to satisfy himself of the existing roof build before tendering.



It is evident that the roof is now in a generally poor condition, with natural ageing playing a significant role in its deterioration.



The existing waterproofing has been extensively repaired, but it is apparent that the repair has not resolved the problems of the roof. As the waterproofing has passed its useful life, the rate of water ingress can only be expected to increase.

## 5.1 CONDITION REPORT - Continued



All upstands, kerbs and thresholds of inadequate height must be raised to a minimum 150mm above finished roof level in accordance with BS 6229.



Pointing to the chase has deteriorated, creating a potential for water ingress.



Cracking is evident within the waterproofing membranes at details across the roof suggesting movement has occurred between the roof and the building structure.



## 5.1 CONDITION REPORT - Continued



The roof is draining to roof outlets.

## 5.1 RECOMMENDATIONS - Main Roof

In our opinion, the existing waterproofing will only provide short term protection, however we consider that the existing roof waterproofing system is of satisfactory condition to receive a new Icopal high performance overlay.

## 5A.1 SAFE2TORCH PLAN -

Icopal have pledged support to the National Federation of Roofing Contractors (NFRC) 'Safe2Torch' campaign. 'Safe2Torch' is an NFRC initiative, developed in partnership with contractor and manufacturer members of the NFRC, which seeks to significantly reduce the risk of roof fires when using gas torches, either to dry out roofs or when used to install torch-on membranes.

The roof plan below denotes the areas where naked flames are or are not permitted, a list of areas considered to be at risk under the Safe2Torch guidance may be found on

<https://www.nfrc.co.uk/safe2torch>

### Plan View - Jebb Avenue

Visual impression of the areas where it is not Safe2Torch ■ No Naked Flames ■ Safe2Torch



This plan is offered in good faith and has been based on the findings of the Icopal roof survey, the installing contractor is to make their own assessment of the roof area prior to commencement of hot works to ensure all at risk areas have been identified. If any additional items of concern are identified please contact your Icopal representative prior to commencing works so the specification may be revised.

TBC