

CONDITION REPORT – EU3785

Victorian Block, Jebb Avenue, Brixton SW2
5XQ

Date of survey: Thursday 17th December 2020

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Prepared For: Guy Crotty
Jebb Avenue Management Committee

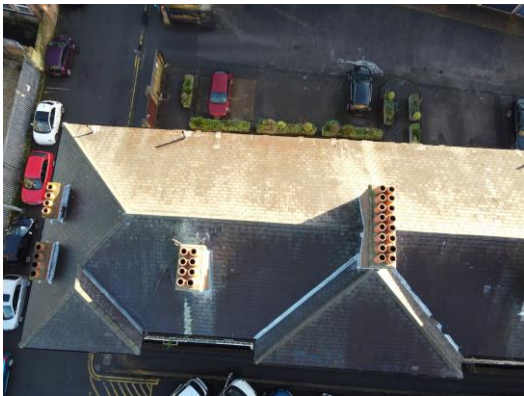
Existing Roof: Welsh County Grade
Penhryn Slate

Building Inspected –	Jebb Avenue, Brixton Sw2
Address –	Jebb Avenue
Listed Building –	Possible Conservation area inclusion
Date of inspection –	17th December 2020 @ 10.00
Weather conditions –	Dry, earlier precipitation evident
Existing roof covering –	Penhryn County grade Welsh Slate –20” x 10” (500x250mm) Head-lap 100mm
Roof pitch –	30°

Introduction

SSQ were invited by Guy Crotty of Jebb Avenue Residents Management Committee to prepare a slate roof condition survey to the above Victorian building

Survey completed as a visual, unintrusive inspection, utilising a drone and hand held measurements. Loft space was accessible.



Observations

Roof pitch 30°

Overall roof condition is very poor, with evidence of increased water absorbency of slates, softening of slates, potential corrosion of fixings, resulting in a large number of broken, cracked, slipped and missing slates. Incorrect sizes of installed slates at abutments to chimney stacks; negatively influencing weatherability, Soil Vent Pipes lead slates require replacing.

Evidence of water ingress to loft space of roof and possible areas of timber rot as a result and possible structural damage, further investigation required as to the remaining integrity of the main structural timbers by structural building surveyor/engineer.

No evidence of underlay in use at any point in the buildings' life to date.

Outline Recommendations

Our technical recommendations to bring this roof up to the current standards; BS5534: 2018 & BS8000 pt6 2013, and that of the current Building Regulations is to: strip to rafters, completing any structural repairs necessary to the roof members to provide a sound structural, level base. Followed by installation of new underlay, battens and natural slate and all associated ancillary products including new, mechanical and mortar fixed hip and ridge cappings.

Roof covering of an approved 50x25 natural slate in keeping with surrounding vernacular. All leadwork to be dressed and installed in accordance with relevant codes of practice.

Insulation to be brought up to current Building Regulations.

Jebb Avenue Brixton



Slate identified as Penhryn ‘County’ Grade Natural Slate
Evidence of slate slippage and previous attempts at repairs to localised slates.



Evidence of loosening of slates due to wind damage, and possible vortex on leeward side of hip and leading to failure of fixings.
All Guttering to be replaced.



Insufficient or no fixings used to install, no evidence of nails being used through slates.
Evidence of High water Absorbency below the chimney stack.
Which would indicate slates are approaching the end of their useful life.



Evidence of loosening of slates due to wind damage, and possible vortex on leeward side of hip and leading to failure of fixings.

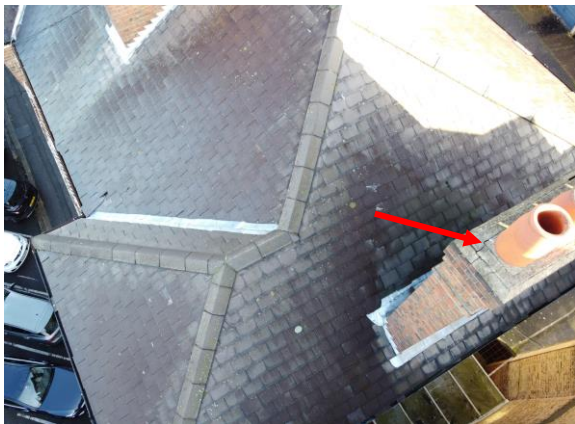


Insufficient or no fixings used to install roof covering.
Under Eaves course of slates appears to have dislodged in places manifested by slate in gutter as shown.



Further evidence of Slate slippage in the valley, as before described.

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Pointing failing around chimney stacks possibly leading to water ingress.
All concrete ridges to be replaced to bring up to necessary BS5534:2018 using mechanical fixings .



Evidence of Slate slippage on eaves course presenting a Health and Safety concern for the pedestrians at street level.



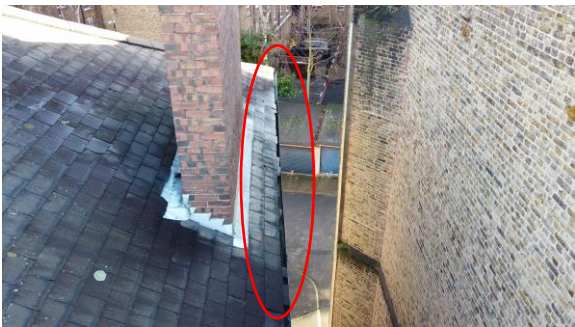
Evidence of Slate slippage on *eaves course*.
Ageing of slate leading to higher moisture content indicated by darker areas & potentially leading to the softening of Slate.



Faulty slate to Soil Vent Pipe and missing balloon.
Very strong evidence to support ageing of slates and tile slippage and nail sickness.
Localised remedial repairs not in keeping with fabric of roof.



Health and safety high alert as slate has dislodged and fallen over the gutters and into the terrace below.
highlighted by triangle on fig.
Slate slippage causing potential harm to building occupants and pedestrians



High water absorbency in slate manifested in darkening of material.
Numerous slates counted in gutter on this elevation (circa 9).
Evidence of significant failure and obvious Health and Safety concerns.

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Evidence of Slate slippage on eaves course. As before described



Slate not installed in compliance with BS5535:2018/BS8000 part 6. Recommend Abutment slates minimum 150mm so as not to compromise side-lap. Normally, all abutments should be taken from slate and half and we haven't seen any slate and a halves in use.



Integrity of ridge line starting to harbour moisture shown as green moss growth directly beneath ridge. Dark hue on circumference of slates is indicative of a higher level of moisture content/absorption. Further slate slippage.



High levels of calcification evident from whitening on surface, geological symptoms of a softening slate. Further slate slippage



Failing lead slate to soil vent pipe and apply balloon Very strong evidence to support ageing of slates and tile slippage and nail sickness.



Noticeable slant on the eaves course perhaps caused by water ingress to the internal roof structure and swelling of roof structures. Evidence of top edge of fascia board rotting hence drop in eaves course.

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Internal loft space –Un-felted, evidence of water ingress can be seen to the underside of slate perp joints, showing angle of creep and calcification of slates.
Evidence of water staining can be seen on purlin.



Image confirming existing batten gauge, 200mm,
Slate lap, 100mm.



As per comments above.



Confirmation of slate width.

